

# \$575,000 - 121 Ranchlands Court Nw, Calgary

MLS® #A2209625

**\$575,000**

2 Bedroom, 2.00 Bathroom, 1,120 sqft

Residential on 0.12 Acres

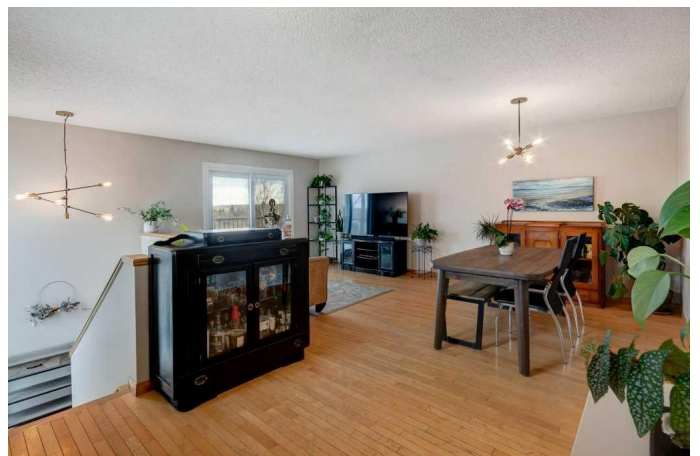
Ranchlands, Calgary, Alberta

Welcome to this beautifully maintained and extensively upgraded semi-detached gem, perfectly situated in the heart of Ranchlands—one of NW Calgary’s most established and family-friendly neighbourhoods. This charming 2-bedroom, 2-bathroom home offers an ideal blend of comfort, functionality, and lifestyle appeal. Featuring a fully finished walk-out basement and a dream garage setup, this property truly stands out.

Step inside to discover a bright and open layout designed for both everyday living and entertaining. The main floor boasts two spacious bedrooms, including a generous primary suite complete with a large walk-in closet. The main bathroom is a spa-like retreat, offering dual vanities, a jetted tub, and a separate shower.

The kitchen is a true highlight, featuring stunning maple cabinetry, high-end stainless steel appliances, a raised breakfast bar, deep basin sink, and a reverse osmosis water system. It flows seamlessly out to a freshly refinished deck—perfect for grilling, smoking, and hosting family or friends.

Natural light floods the living and dining areas, with sliding doors leading to a west-facing balcony offering breathtaking views of the Rocky Mountains and Canada Olympic Park.



Downstairs, the fully developed walk-out basement offers a spacious recreation room with a large south-facing window, a second full bathroom, and great flexibility—whether you want to add a third bedroom, create a home office, or develop an (illegal) secondary suite with its own private entrance. This level also includes a convenient laundry area, ample storage, and direct access to the attached single garage.

Outside, the large pie-shaped lot is beautifully landscaped and features a flagstone patio, pergola, raised garden beds, and a generous side deck—an outdoor oasis for summer BBQs, gardening, or simply unwinding. With no direct neighbours behind and a nearly private playground just steps away, it's perfect for families.

And for the garage enthusiasts—this home has you covered.

Alongside the front attached single garage, you'll find a massive detached double heated garage equipped with a built-in workshop and 240V service—EV charger ready!

Recent updates for peace of mind include: All Windows and Patio Door (2023) New Heat Pump with Central A/C (2023) Hot Water Tank and Toilets (2023) Roof & Vents (2015) Detached Garage Roof (2020) Poly-B Plumbing Replaced (2021) Expanded Deck (2021) Refrigerator Washing Machine and Dishwasher (2019) Landscaping (2022)

Located close to schools, transit, and shopping at Crowfoot Crossing, this move-in-ready home is perfect for first-time buyers, downsizers, or anyone looking for a home that combines comfort, character, and practicality.

Donâ€™t miss your chance to own this incredible propertyâ€”homes like this donâ€™t come along often!

Built in 1978

**Essential Information**

|                |                        |
|----------------|------------------------|
| MLS® #         | A2209625               |
| Price          | \$575,000              |
| Bedrooms       | 2                      |
| Bathrooms      | 2.00                   |
| Full Baths     | 2                      |
| Square Footage | 1,120                  |
| Acres          | 0.12                   |
| Year Built     | 1978                   |
| Type           | Residential            |
| Sub-Type       | Semi Detached          |
| Style          | Side by Side, Bi-Level |
| Status         | Active                 |

**Community Information**

|             |                         |
|-------------|-------------------------|
| Address     | 121 Ranchlands Court Nw |
| Subdivision | Ranchlands              |
| City        | Calgary                 |
| County      | Calgary                 |
| Province    | Alberta                 |
| Postal Code | T3G 1N8                 |

**Amenities**

|                |                                                                                                                                       |
|----------------|---------------------------------------------------------------------------------------------------------------------------------------|
| Parking Spaces | 5                                                                                                                                     |
| Parking        | 220 Volt Wiring, Double Garage Detached, Front Drive, Heated Garage, Insulated, Oversized, Single Garage Attached, Workshop in Garage |
| # of Garages   | 3                                                                                                                                     |

**Interior**

|                   |                                                                                               |
|-------------------|-----------------------------------------------------------------------------------------------|
| Interior Features | Breakfast Bar, Double Vanity, Jetted Tub, Kitchen Island, Separate Entrance                   |
| Appliances        | Dishwasher, Dryer, Electric Stove, Microwave Hood Fan, Refrigerator, Washer, Window Coverings |

|                 |                                             |
|-----------------|---------------------------------------------|
| Heating         | Central, Forced Air, Natural Gas, Heat Pump |
| Cooling         | Central Air                                 |
| Fireplace       | Yes                                         |
| # of Fireplaces | 1                                           |
| Fireplaces      | Basement, Electric                          |
| Has Basement    | Yes                                         |
| Basement        | Finished, Full, Walk-Out                    |

## Exterior

|                   |                                                                                                 |
|-------------------|-------------------------------------------------------------------------------------------------|
| Exterior Features | Balcony, Garden, Playground, Private Yard                                                       |
| Lot Description   | Back Lane, Back Yard, Backs on to Park/Green Space, Cul-De-Sac, Gazebo, Pie Shaped Lot, Private |
| Roof              | Asphalt Shingle                                                                                 |
| Construction      | Vinyl Siding, Wood Frame                                                                        |
| Foundation        | Poured Concrete                                                                                 |

## Additional Information

|                |                  |
|----------------|------------------|
| Date Listed    | April 10th, 2025 |
| Days on Market | 8                |
| Zoning         | R-CG             |

## Listing Details

|                |            |
|----------------|------------|
| Listing Office | CIR Realty |
|----------------|------------|

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